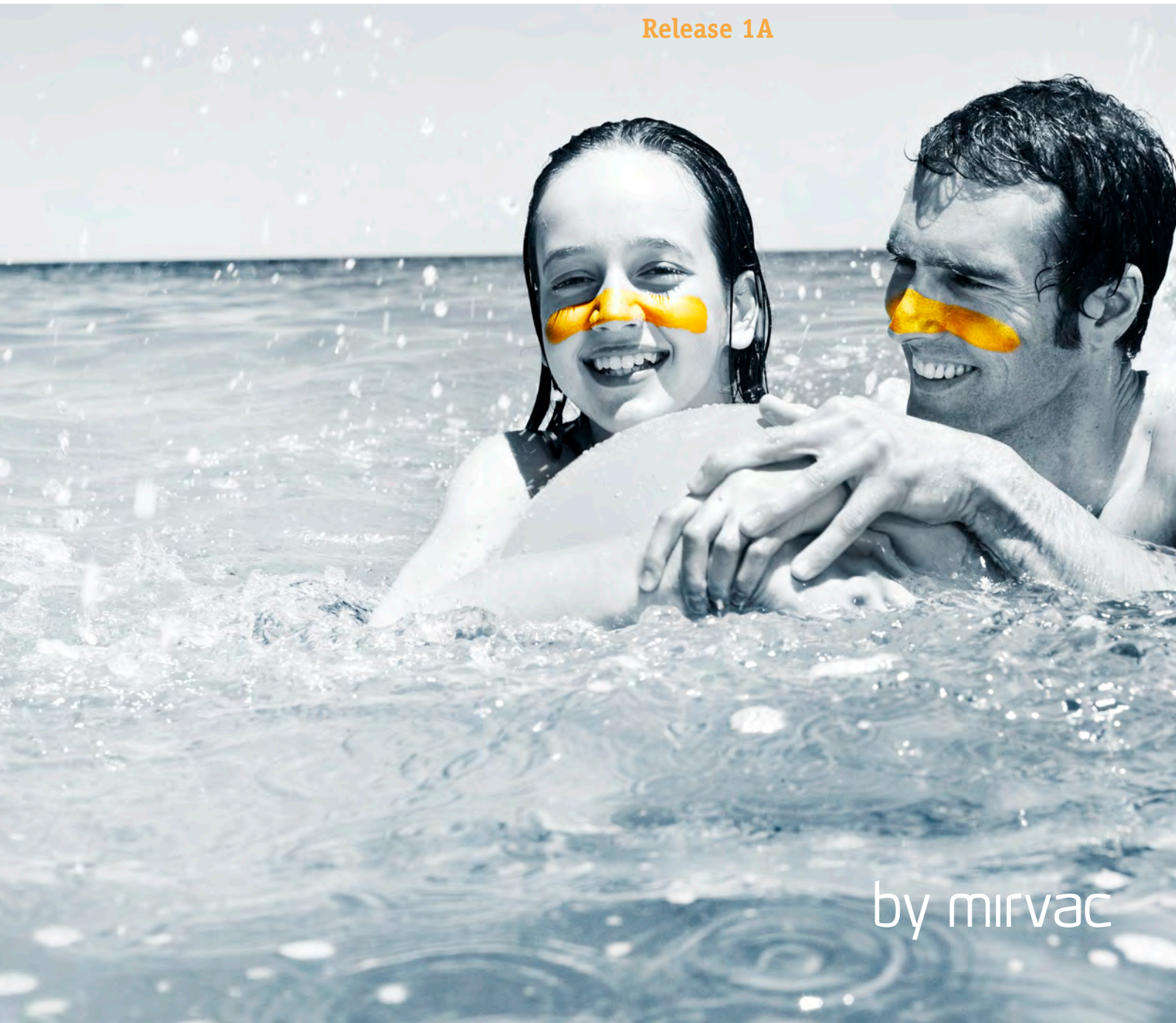


The Village Precinct

Design Guidelines 1.0

A Mirvac Community

Release 1A



by mirvac



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Your new community



1 General

Mirvac is one of the leading brands in the Australian residential property market consistently delivering innovative and quality developments.

The Village Precinct at Seascapes will be the next evolution in this thriving community and yet another example of Mirvac's award winning master planned communities. It is centred around the beachside heart of the already well established Seascapes community.

With sweeping views over the Indian Ocean, The Village Precinct offers a rare chance to purchase prime land within the coveted, well established Halls Head area. A chance to build or purchase your dream home where amenities, parks and vistas have been carefully planned to maximise your lifestyle.

The Seascapes community will offer a premium living environment nestled amongst the existing network of neighbourhoods in the area. The vision for The Village Precinct is defined by generous landscaped open parklands, interconnected by a carefully laid out framework of streets with vistas directly connected to the ocean, pocket parks, and a broader pedestrian and bicycle access system. Native coastal vegetation and grassed areas ensure plenty of room for play but still reflects its coastal character. The extent and quality of landscaping is to be a cornerstone on which the community's reputation will be built.

The topography of the local area positions The Village Precinct along the western most face of a gentle rise allowing views to Rockingham in the north and Bunbury to the south. The foreshore and its adjoining residential lots enjoy 180 degree unspoilt views over the Indian Ocean.

The main tree lined boulevard with a new contemporary retail precinct and proposed terrace homes will frame the vista directly to the central foreshore park and the ocean beyond.

This new and vibrant neighbourhood centre incorporating a mix of retail, convenience and other necessities will feature outdoor spaces flowing across to the large park adjacent and the open landscape spaces beyond.

These carefully compiled design guidelines and covenants are in place to ensure that homes within the community are of a calibre befitting the premium nature of the site.

Contemporary design, natural colours and landscaping will ensure that all homes, regardless of size, will work together to create a cohesive streetscape.

The master plan, landscaping and architecture combines to create a sense of place at all levels and to form a cohesive community. Owners will have absolute pride in their home and the community in which they live and streetscapes will continue to present well long after Mirvac has completed the development. Furthermore, these Design Guidelines will work to ensure the integrity and character of The Village Precinct is maintained for the benefit of all future residents.

2 Design vision

The vision for The Village Precinct is to create a memorable community that reflects its unique coastal context. Some of the existing homes at The Village Precinct are examples that help to create a high quality living environment, incorporating design principles that maintain a distinctive coastal sense of place.

The Village Precinct is aimed to be diverse mix of contemporary forms reinterpreted from the coastal architectural language. Materials and colours should be used to reflect its context. A strong, solid and refined street presence is sought for all facades.

All houses must, in the opinion of the Seascapes Design Committee (SDC), complement the desired Design Vision.

3 Lodging plans for covenant approval

For all new development proposed at The Village Precinct at Seascapes, these Design Guidelines need to be met and proposals endorsed by Mirvac prior to a development application for a statutory Planning Approval, Building Licence or both being sought from the City of Mandurah. These guidelines should be read in conjunction with the Local Scheme Text and Planning Policies and Residential Design Codes of WA (R-Codes).

Process

Mirvac's Seascapes Design Committee (SDC) will assist and review the design of your home through the covenant approval process. The typical process is outlined below.

The approval of building plans by the SDC is required prior to the application for development or building licence being submitted to council. Plans must be submitted and construction completed within 18 months of settlement to be eligible for the landscaping and fencing incentives offered to purchases. Refer to your sale contract or Mirvac Customer Relations for further details.

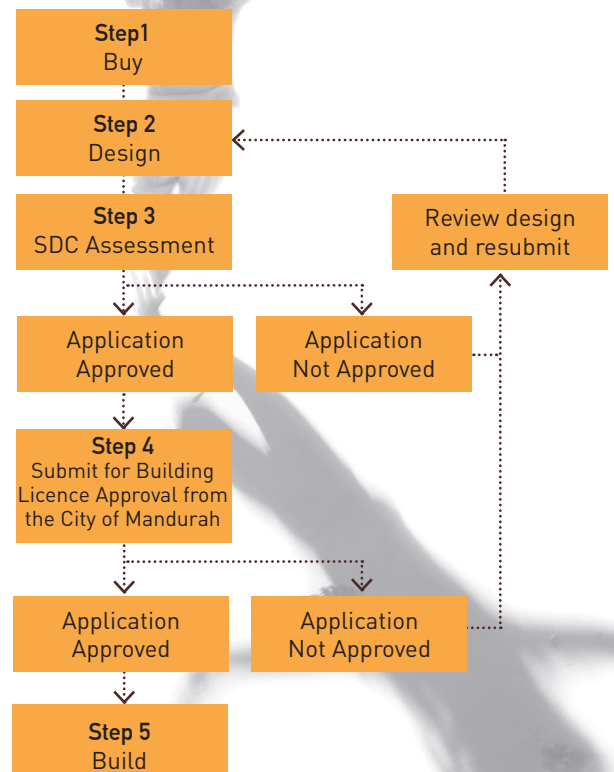
Drawings are to be posted to the following:

The Village Precinct, Seascapes Design Committee

C/-Mircac
Level 3, 502 Hay Street
Perth WA 6008
(08) 9424 9900

Submission Documents:

- Site plan
 - All floor plans
 - Roof plan
 - Elevations and external colour schedule
 - Any fencing detail (corner lots mandatory)
- (All drawings to 1:100 scale)



Your block

4 Site coverage

- To give you more flexibility for your home to be designed around the requirements you want, we have varied the typical provisions of the Residential Design Codes ('R Codes') so that your home can have a larger site cover on the block. R Codes for this zoning typically only allows 50% of the site to be used for the house footprint but we have amended this to 60% of the total site area. Giving you more room to build the house you want.
- This variation has been adopted by the City of Mandurah under local Detail Area Plan (DAP) for the Village Precinct at Seascapes Stage 1A – refer to Appendix (A).

5 Setbacks

- You must build within your lot in accordance with the Residential Design Codes ('R Codes') or Mandurah City Council scheme text requirements, unless otherwise stipulated below:
 - › 4m minimum primary (Front) setback for R25 Lots – refer to Appendix (A)
 - › Garage setback 5.5m minimum or 1.5m from the external face of the forward most projecting wall (whichever is the greater setback from the street).

6 Proposed, existing retaining walls + earth works

- Any new retaining walls must be constructed in the same materials (limestone blockwork) and colours as the existing retaining walls built by the Developer.
- The dimensions and positions of all proposed retaining walls that are visible from public areas must be provided to the Developer as part of the building approval process.
- No existing retaining wall installed by the Developer are to be altered without first applying for and obtaining written approval from the Developer.
- Copies of the engineering specification for existing retaining walls can be obtained from the Developer.
- Lots Levels are not to be altered beyond +/- 100mm from the Civil Constructed Levels.

7 Maintenance + public safety

- Your block and or building site must be appropriately clean and safe at all times. This is the responsibility of the registered owner and/or nominated parties (e.g. builder).
- Prior to construction – must be clear of weeds, building debris and general waste.
- During construction – as above and a bin should be provided for adequate disposal of waste goods and materials.
- Debris, bins and site facilities should be clear of all neighbouring properties, roads, footpaths, reserves and all other public places at all times.

Home design guidelines

8 Construction methods

- House, Garage and ancillary structures in excess of 9m² must be constructed as follows:
 - › Concrete slab on compacted clean fill for the ground floor.
 - › Walls must be constructed of either double brick, brick veneer or reverse brick veneer.
 - › Timber framed first (suspended) floor and wall frames may also be used.
 - › Lot levels are not to be altered above that stipulated in Item 6.
 - › Alternative materials such as rammed earth may be considered by the SDC (See Item 10).

9 Façade

This style guide has been developed to ensure our, and your aspirations for The Village Precinct can be achieved. They are summarised below;

- House designs that are contemporary in approach and exclude references to historical styles or reproductive decorative details that are not in keeping with its location and neighbours
- To encourage a combination of single and double storey homes to create a variety of massing in the streetscape
- To ensure homes are well articulated and proportioned in order to reduce the overall bulk of the building
- To achieve a high level of street surveillance by the promotion of street facing windows
- To ensure each home has a front entry which is clearly visible from the street
- To minimise the impact of garage doors and driveways on the street by locating vehicular access appropriately.

Home design guidelines

a) Primary street front design

Walls that are visible from the Primary Street must have sufficient articulation including but limited to;

- Wall and roof variation to the building setback;
- Adequate fenestration (windows) for surveillance, interest and variation;
- Garage setback a minimum of 1.5m from the main building form (see Item 15);
- Visible and clear front entry;
- Feature elements and materials;
- Sun shading devices – such as sunscreens and pergolas;
- At least 1 habitable room (where practicable) should address the primary street frontage;
- Appropriate roof forms (Refer to item 11).

b) Secondary street and park frontages

- Your home must be designed to address all street or park frontages using such elements as outlined within point 9.a).
- Walls over 8.0 metres in length without any windows or articulation must be avoided.
- At least 1 habitable room (where practicable) should address the park and secondary streets.
- Appropriate roof forms (Refer to item 11).



Figure 1 An example of a façade that achieves the desired outcome

10 External wall materials

In order to promote a controlled variety of materials and colours which complement the landscaping to the public realm and soften the streetscape the following list has been compiled to achieved this desired outcome.

- Acceptable wall materials include:
 - › Rendered brickwork;
 - › Limited feature brickwork (such as split face block work);
 - › Stone cladding – coastal hues e.g. sandstone, limestone cladding;
 - › Lightweight claddings (such as weatherboards, colorbond);
 - › Clear finished, stained or painted timber sheets or boards;
 - › Other finishes will be considered by the SDC on their merits.
- Unacceptable wall materials include:
 - › Unfinished block work (eg. limestone, clay or concrete 2 course high blockwork)
 - › Materials with excessive colour variations.
- A mix of materials or colours must be used to all walls facing a street, park and or secondary street frontage – with up to a maximum of 3 materials used on each façade (refer to Figure 2).
- Obscure glazing is not allowed on street facing windows.
- All external wall finishes must be approved by the SDC.

a) Single storey residences

- Up to 100% total wall coverage (excluding windows/openings) applies to the use of rendered brickwork.
- No more than 20% total wall coverage (excluding windows/openings) applies to the use of face/feature brickwork, and/or alternative materials such as lightweight cladding.

b) Double storey residences (Figure 2)

- Up to 70% total wall coverage (excluding windows/openings) applies to the use of rendered brickwork.
- A maximum of 50% total wall coverage (excluding windows/openings) applies to the use of face /feature brickwork and/or alternative materials such as lightweight cladding.



Figure 2 Example of appropriate mix and proportion of material

Home design guidelines

11 Roofs

In order to encourage a range of contemporary roof lines within a streetscape, and well proportioned roof lines that create shadow and interest to the façade, we have compiled the following conditions;

a) Roof form

- Traditional hip and gable roof pitches must be 24.5 degrees minimum (Figure 3).
- Skillion or mono pitched roof profiles may also be used to embrace the coastal aesthetic, subject to review and approval by the SDC with a minimum of 5 degrees permitted.
- Roofs concealed within a parapet on all visible sides as viewed from the street or park or laneway may be considered. SDC will review on merit. No restriction on pitch.
- No domes, turrets or spires are allowed.

b) Eaves (Figure 3)

- For all single storey houses a minimum of 300mm eaves must be provided to all publically visible facades (primary street, secondary street, park or laneway).
- For all double storey houses a minimum of 300mm eaves must be provided to all façades.
- Exceptions to the above will only be permitted over garage structures and built to boundary walls. Contact the SDC for further clarification.

c) Materials/profile/colours

- Concrete or clay roof tiles can be used in a simple 'shingle' or 'slate' profile. Heavily shaped or profiled tiles are subject to SDC approval. They should complement the house external colour scheme and be in 'lighter' hues akin to the Colorbond selections below.
- Highly reflective material such as unpainted or finished metal sheeting or Zinculume is not permitted.
- Roofs in Colorbond or similar approved roof sheeting in neutral hues are permitted and below is a sample list of appropriate colours by Colorbond.
 - > Surfmist
 - > Evening Haze
 - > Dune
 - > Shale Grey
 - > Windspray
- All colours, materials and profiles outside this range are subject to SDC approval.
- All gutter and downpipe profiles or treatments must complement the palette of the home.



Figure 3

12 External wall colours

Generally colours must enhance the streetscape appearance. Each application is to be accompanied by a detailed External Colour Schedule and preferably accompanied by a Colour Elevation or Coloured Perspective of the dwelling from the street and must be approved by the SDC.

- Houses within The Village Precinct should have a palette of external colours that complement the landscaping and soften the streetscape.
- Proposed colour schemes must reflect a contemporary design approach that complements the coastal design vision. Overly bright or fluorescent colours will not be allowed.
- A limit of 80% total wall coverage (excluding windows/openings) applies to the use of any one colour to any publically visible façade (Figure 4).
- Accent colours should be limited to an element or approximately 10% of the exposed facade.
- Paint finishes to the street or park façade are limited to a maximum of 3 exclusive of those used for ancillary elements such as roof plumbing, pergolas, balustrades and other minor items.
- An example of the desired mix of colour is shown below (Figure 4).
- In an attempt to keep the community aesthetic cohesive a list of pre-approved colours are listed overleaf (Figure 5).



Figure 4 Example of appropriate colour application

Home design guidelines



Note: Above colours are Dulux, colour match by alternative is acceptable

Figure 5 Sample swatches of pre approved colours



13 Ornamentation

A variety of building elements such as porches, balconies, sunshades and pergolas are encouraged to add articulation and interest to the streetscape.

- These should be of a scale and proportion relative to its use.
- Exclude references to historical styles or reproductive decorative details that are not in keeping with its location and neighbours.
- Designed to complement the design of the house and included on plans and elevations when submitted for approval to the Seascapes Design Committee. They should be painted, or powder coated to match the home external finishes.
- Security doors must be of a contemporary design coloured to match window frames. Diagonal grid types or privacy mesh will not be approved. (Figure 6).
- Security blinds or shutters are not permitted.

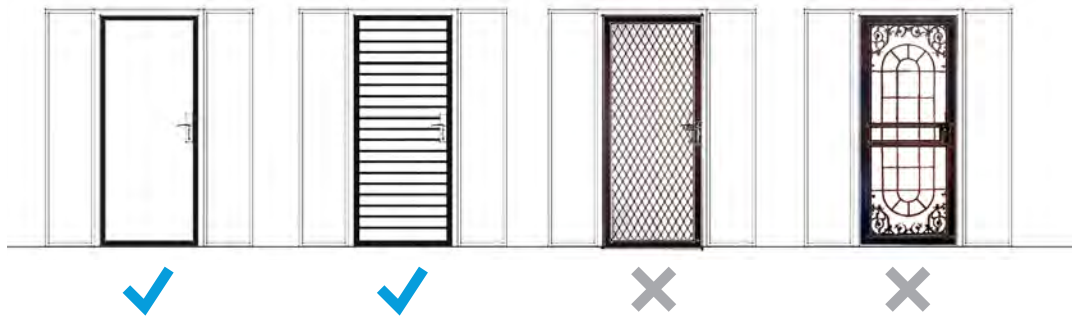


Figure 6

14 Outdoor living

In order to promote a successful interaction of the indoor and outdoor space all homes must incorporate an outdoor living space which is located adjacent to indoor living areas.

- Your outdoor living space must be a minimum of 30m².
- Balcony spaces are encouraged as usable spaces, connection to views, scale and interest in the park or street elevation. Balconies should be directly connected to the second floor habitable rooms and must be a minimum of 1.5m in depth and a minimum of 6m² in total area.

Home design guidelines

15 Car accommodation

It is imperative that the garage and the garage door does not dominate the public face of your and your neighbour's home. Homes with wide and protruding garages result in unattractive streets with little interest and safety concerns.

- Minimum setback for the garage is 1.5m from the building façade. This allows for a reduction in the dominant look of the garage and allows for visitor parking on the driveway without affecting footpath usability and safety.
- Refer to the Residential Design Codes for laneway and secondary street setbacks.
- The maximum allowable garage door width is 5.5m (Figure 7).
- Garage door profiles must reflect the character of the façade. No historical decorative ornamentation is to be incorporated in the profile.
- Colour of garage door to complement the palette used on the façade.
- All garages must be a double fully enclosed garage.
- Garage openings should also have a steel lintel over with rendered brickwork, face brickwork or lightweight cladding to match the façade (at least 3 courses in height). Pressed metal cover plates over the garage door will not be acceptable.
- Gates adjacent to the garage may be incorporated for the provision of storage of ancillary vehicles (trailers etc) behind the setback line. Gates must be of a similar material to the adjoining side fence.

In order to reduce the dominance and unsightly appearance of large expanses of garages and driveways – two garages are not to be located on the same boundary. That is, you and your neighbour cannot have your garage side by side. Please contact the SDC prior to any planning of your home to discuss a suitable location. If no neighbouring lot has lodged for an approval then preference will be granted to the first home submitted. This is subject to practicalities of the house design and lot configuration and therefore discretion for an approval may be given by the SDC.



Garage door – double garage 5.5m max. in width

Figure 7

16 External services and waste recycling

The following points outline the final details that need to be considered when designing your home. These elements include pipes, TV antennae, wiring, air conditioners, drainage systems and storage areas.

These Design Guidelines establish the best way to locate items that are essential for everyday living, whilst not detracting from an appealing environment. To create an attractive development we have outlined ways in which such items can be concealed or positioned in a non-intrusive way.

a) Services

- All pipes, wired services, clothes drying areas, hot water storage tanks and such items should be concealed on the lot, and should not be seen from anywhere in the public realm.
- Meter boxes should be located in the least visually obtrusive location from public view.
- TV antennae, satellite dishes and radio masts should not (where practicable) be seen from the primary or secondary streets. These items should be located where they are in the least visually obtrusive location from neighbouring properties, street or park (for example located at the rear of the roof and below the roof ridge level away from the neighbouring properties outdoor living areas).
- Roof and wall mounted air conditioning units should be located in the least visually obtrusive location from public view.
- Solar collector panels as part of a split solar hot water system may be visible from the public realm – closed coupled systems (where the water storage tank is also roof mounted) must be located away from public view. Consideration will be given by the SDC in regards to these locations in regards to best efficiencies via orientation for these units.

b) Waste and recycling

- Waste bin/s should be stored and concealed from public view within your lot boundaries prior to collection times and removed from bin pads and or verges within a reasonable timeframe.
- For lots with bin collection from the rear lane there is provision for the appropriate number of bin pads.



Landscape design guidelines

17 Side and rear boundary fencing

Unless a fence is provided by Mirvac, all Lots must satisfy the need for visual privacy without the impact of high fences facing streets and parks and to maintain consistency and quality throughout the estate.

- Fences may be in the form of:
 - a. Side fences on corner lots
 - b. Side fences on typical lots (non corner)
 - c. Rear fencing
 - d. Park front fencing

a) Side fences on corner lots

- Length can not exceed 80% of the boundary length.
- The fence must be setback at least 2m behind the primary street building facade (i.e. front building line).
- The fence is to include solid rendered masonry to the maximum height and must be offset, in the opinion of the SDC, with sufficient articulation in plan and or breakup with infill panels.
- It must be constructed of rendered masonry with timber, powder coat aluminium, or steel infill panels as shown in the example below.
- Must be a minimum of 1.5m high and a maximum of 1.8m at any point.
- In an approved colour (as per the external colour palette - Figure 5).

b+c) Side or rear fence on a typical lot

- Must be constructed of traditional timber palings and have a height of 1.8m.
- The fence must be a minimum of 2 meters behind the primary street building facade (i.e. front building line).
- The tops of fences on sloping lots must be horizontal, with steps in gradual increments to achieve the heights specified.

d) Park front fence

- Any fence constructed along or abutting to a park is not permitted unless the 'fall' height between lot pad level and the adjacent park ground level is greater than 900mm and statutory requirements warrants its inclusion. A 900mm maximum height visually permeable fence or rendered masonry wall may be accepted in these circumstances and is to be constructed on the elevated side of the property boundary.
- Individual submissions will be assessed by the SDC based on merits.



Fence Type A



Fence Type B&C

18 Driveways

Driveway finishes shall complement the materials and colours of the dwelling and landscape design through a contemporary approach.

- Driveway materials may include:
 - › Pavers in natural/pale coastal colours;
 - › Natural crushed stone pavers;
 - › Coloured concrete in natural/pale coastal colours;
 - › Exposed aggregate pavers;
 - › Poured exposed aggregate concrete;
 - › Poured liquid limestone (Leumeah).

19 Planting and landscaping

Planting with consideration of climatic, coastal conditions and ongoing maintenance requirements is encouraged and as part of Mirvac's Vision and commitment to The Village Precinct. Mirvac will provide free of cost a Landscaping Incentive Package for front (and side for corner lots only) landscaping to all private lots to an agreed value (see your Mirvac Contract of Sale or Mirvac Customer Relations for details – conditions apply).

This ensures plant selection and quality is not only appropriate for its coastal context, but also the vision of a coastal landscape being carried forward to the front of all the homes within The Village Precinct. Owners will have a choice of 3 planting variations to choose from, allowing diversity but still retaining quality and cohesion.

- Grassed areas will be kept to a minimum. It is the design philosophy that road verges (between your front property boundary and the road) are to be planted rather than grassed to create an aesthetic complementary to its location and to help ensure vehicles do not park and restrict footpath use.
- A sample of selections can be seen in Appendix (B), but please note the planting schedule is subject to change due to pricing and availability of selected plant species at the time your home is complete.
- Any subsequent landscape additions and or materials and colours must complement the home and work to a consistent theme.

All areas visible from streets shall be completely landscaped and maintained to a suitable and presentable standard (including all turf, soft landscaping, driveways, and pathways).



Landscape design guidelines

20 Letterboxes

The letterbox will form part of the Mirvac Landscape Incentive Package as referenced above. Refer to Mirvac Customer Relations for further details regarding this inclusion.

Consistent detailing within The Village Precinct helps to bind the homes together to look as a cohesive community. The letterboxes must be of the same type, material, style and finish as set out on the existing homes built by Mirvac in Stage 1.

Manufacturer: Frontyard Art
Style: Butler
Finish: Silver powder coat.

This inclusion is subject to Mirvac's discretion and availability & Mirvac may change or withdraw the selection at any point. If they are unavailable, amendments in letterbox design are to be referred to the SDC for approval.



21 Outdoor storage

- Commercial vehicles, including caravans, boats, trailers etc. shall not be parked or stored on the lot unless enclosed within a garage or screened from public view.

22 Sheds

You may only construct, erect or permit to install any free-standing structure (including a garden shed);

- If It is 9m² or less and;
 - › Is substantially hidden from public view from immediately adjacent streets and parks;
 - › Is not constructed of Zinalume or any other significantly reflective material; and
 - › Has a wall that does not project above the height of any surrounding boundary fence by more than 300mm.
- In excess of 9m² if it has SDC approval and such structure matches the dwelling in respect of materials used, design and external appearance including colour and quality of construction.

Any questions?

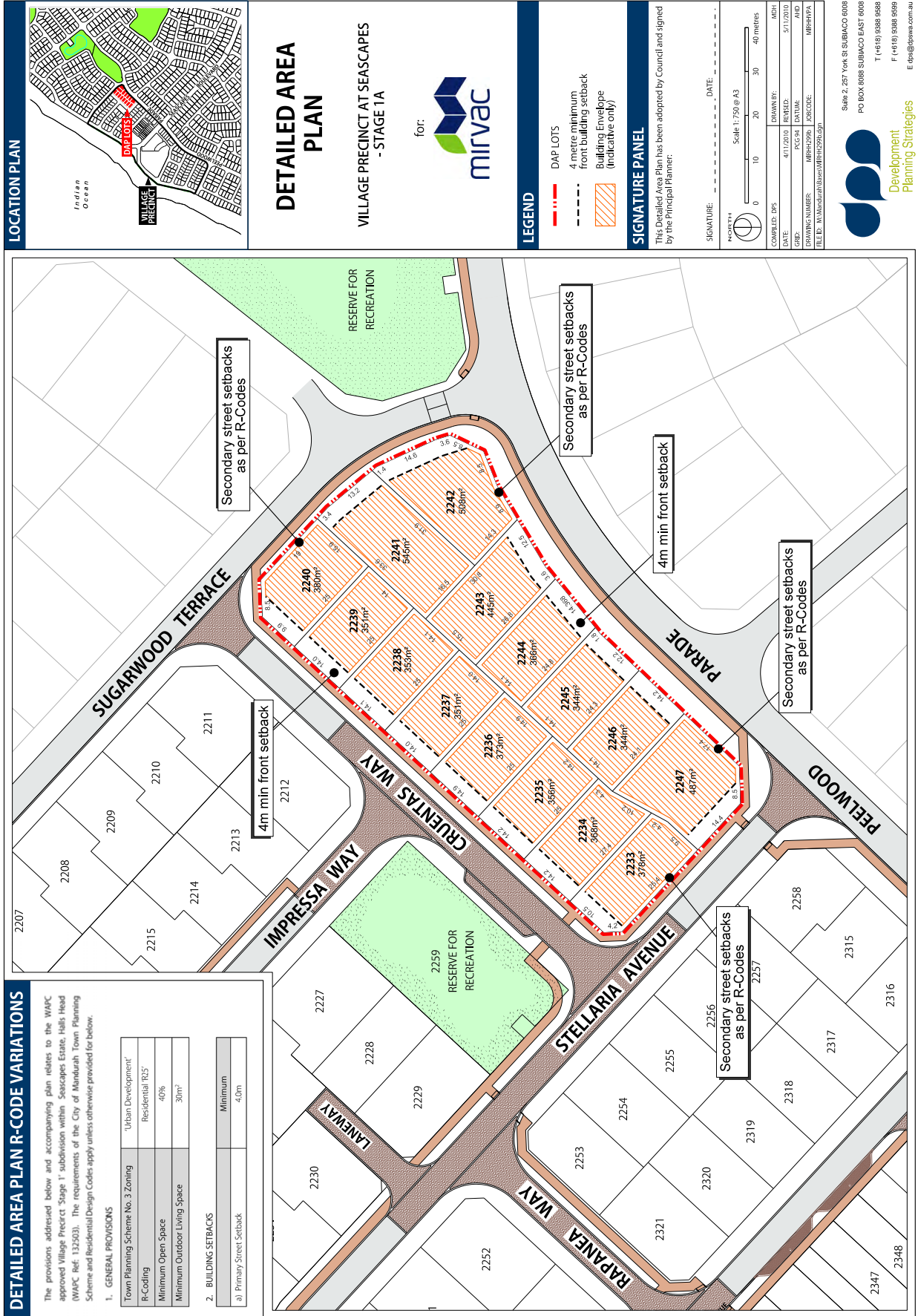
The Mirvac Seascapes team are here to make your move into the Seascapes Community as easy as possible so please contact the Seascapes Design Committee or the Customer Relations team if you have any questions in regards to these guidelines.

T (08) 9424 9900



Appendix A

Detailed Area Plan (DAP)



Appendix B

The Village Precinct at Seascapes frontyard planting scheme Plant palette one



Conostylis candicans



Pattersonia occidentalis



Anigozanthas Bush Dance



Dianella Little Rev



Lomandra Katrinus



Cordyline red



Ficinia nodosa



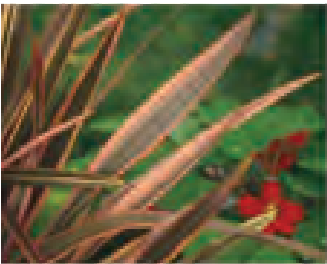
Liriope muscari



Yucca elephantipes



Dianella variegated



Phormium Maori Chief



Dianella Cassa Blue

Appendix B

The Village Precinct at Seascapes frontyard planting scheme Plant palette two



Hibbertia scandens



Leucophyta brownii Silver Nugget



Callistemon Little John



Grevillea Gin-Gin Gem



Melaleuca Little Red



Eriostemon myoporoides



Scaevola Mauve Clusters



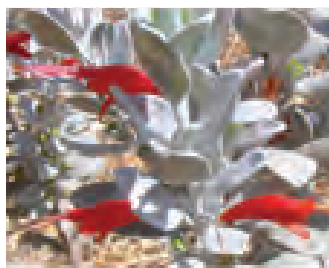
Adenanthos cunninhamii



Brachycome Pacific Sun



Dampiera linearis



Eremophila glabra



Xanthorrhoea preissii

Appendix B

The Village Precinct at Seascapes frontyard planting scheme Plant palette three



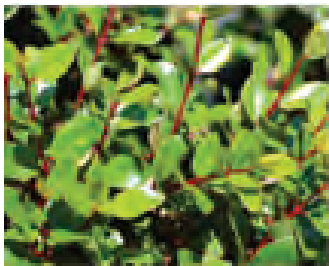
Westringia Jervis Gem



Crassia coccinea Flame



Viburnum tinu



Metrosiderous Tahiti



Kalanchoe mirrabella



Viburnum tinus



Escallonia Pink Pixie



Echeveria Pearl von Nurenburg



Cycas revoluta



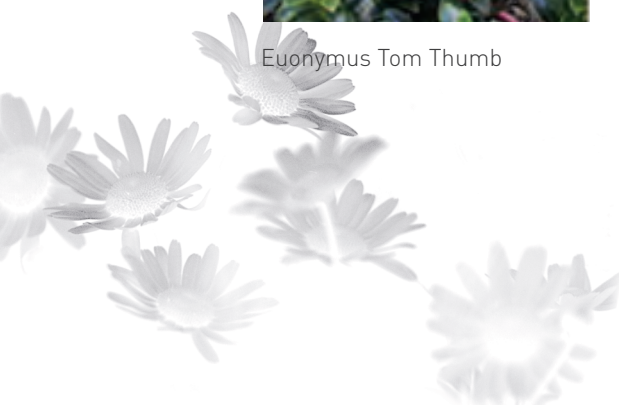
Euonymus Tom Thumb



Echeveria Topsy Turvy



Agave attenuata



Application form

SEASCAPES

Please detach this form and complete details

Lot number:	_____
Street Address:	_____ _____
Plans submitted for preliminary approval? (please circle)	YES NO
Date of Submission	_____

Owner's details

Name: _____

Address: _____

Contact No. Home: _____

Business: _____

Fax: _____

Email: _____

Builder's details

Builder: _____

Contact name: _____

Address: _____

Contact No. Business: _____

Fax: _____

Email: _____

Checklist

Are the following attached to your application?

YES

- | | |
|---|--------------------------|
| 1. Site plan showing contours and platform levels in AHD | <input type="checkbox"/> |
| 2. Floor Plans | <input type="checkbox"/> |
| 3. Floor area schedules | <input type="checkbox"/> |
| 4. Setback dimensions | <input type="checkbox"/> |
| 5. Elevations | <input type="checkbox"/> |
| 6. Retaining walls location and height (New and existing) | <input type="checkbox"/> |
| 7. Fencing location and height | <input type="checkbox"/> |
| 8. Driveway details and materials | <input type="checkbox"/> |
| 9. Colour and material schedule | <input type="checkbox"/> |

I/we the owner/builder of Lot _____ at The Village Precinct at Seascapes acknowledge that I/we have read and accept The Village Precinct Design Guidelines requirements.

Signature: _____ Date: _____

by mirvac

Mirvac is a proud, Australian property development group with more than 300 distinguished industry awards to its name. For over 35 years, it has produced some of the most innovative and revered addresses. This has been achieved by maximising prime locations across all areas of design, construction, planning and sales and marketing.

Mirvac Design is a unique and diverse group of individuals specialising in architecture, urban design, interior design, landscape architecture and graphic design. The practice is one of Australia's largest, with offices across Perth, Sydney, Melbourne, Brisbane and London.

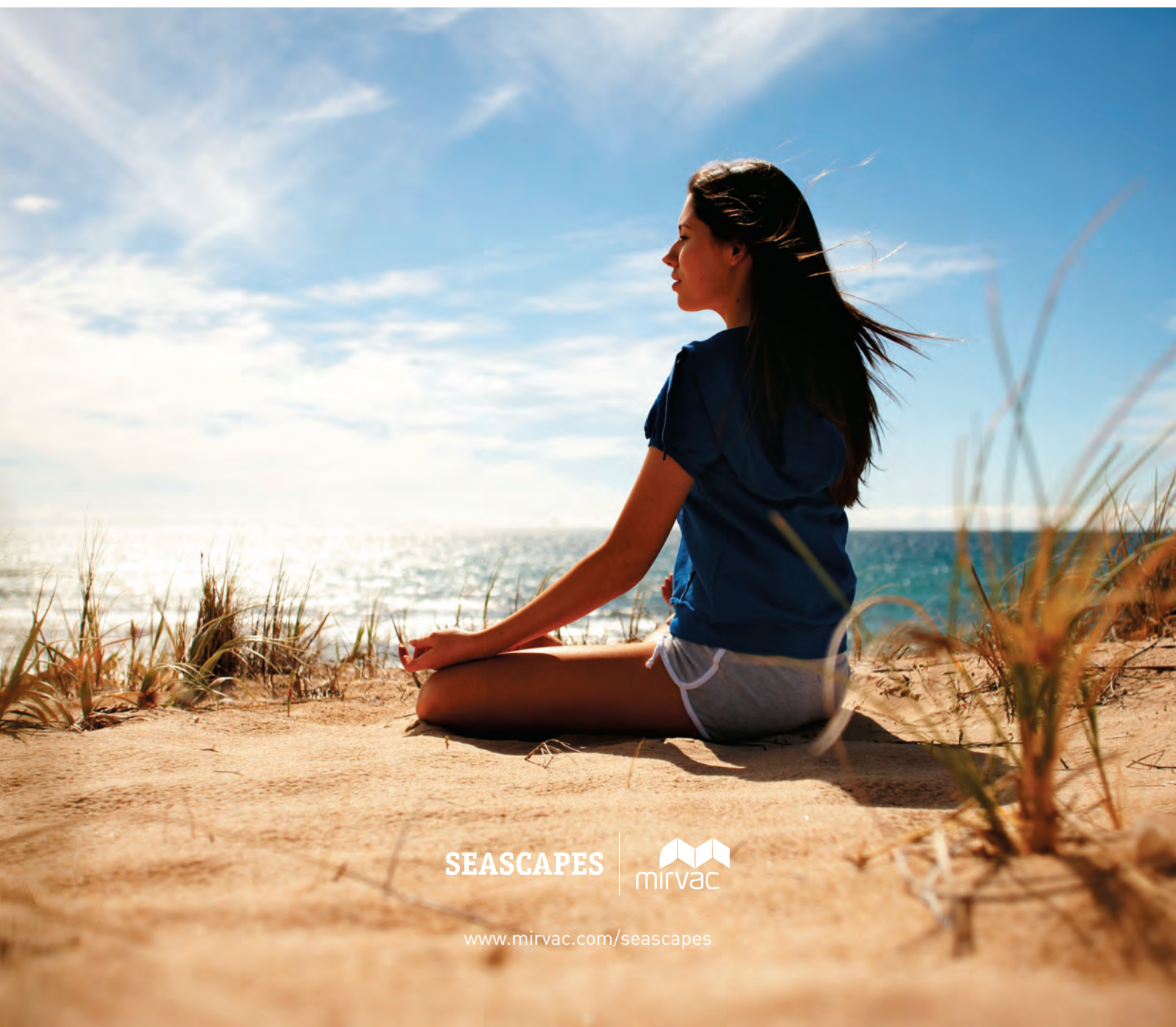
Creativity is Mirvac Design's core asset and what defines it culturally. Its focus is on quality residential, commercial, hotel and retail development, and it continually challenges conventional thinking through design leadership.

Meticulous planning, knowledge and a stringent control of design and construction means that Mirvac customers receive the quality they expect and deserve. Mirvac prides itself on raising the bar in residential and waterfront living with every piece of work. As one of Australia's largest integrated real estate groups, Mirvac has a strong sense of responsibility to the people with whom it does business, as well as the broader community in which it operates. If you'd like to find out more about Mirvac's previous or future developments, please visit the 'Company Profile' page at www.mirvac.com



by mirvac

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SEASCAPES



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